

9.0 Enactment

This By-law read a first, second and third and finally passed this 16th day of December, 2002 and given By-law No. 140-2002.

Originally Signed by Lou Rinaldi

Mayor

Originally Signed by Donald O'Neill

Clerk

Land Use Schedules

Appendices

The text and drawings and diagrams on the following pages are provided to assist the reader in the interpretation and application of a number of definitions and defined terms in this By-law.

These appendices are for information and illustration only, and do not form part of the statutory provisions of this By-law.

Appendix A Minimum Distance Separation Criteria (MDS I)

Appendix B Minimum Distance Separation Criteria (MDS II)

Appendix C Lot line descriptions

Appendix D Illustration of dwelling types

Appendix E How to calculate the height of buildings and structures

Appendix F How to determine the location of a building line

Appendix G Yard and lot line definitions on a corner lot with parallel lot lines

Appendix H Yard and lot line definitions on a corner lot with curved lot lines

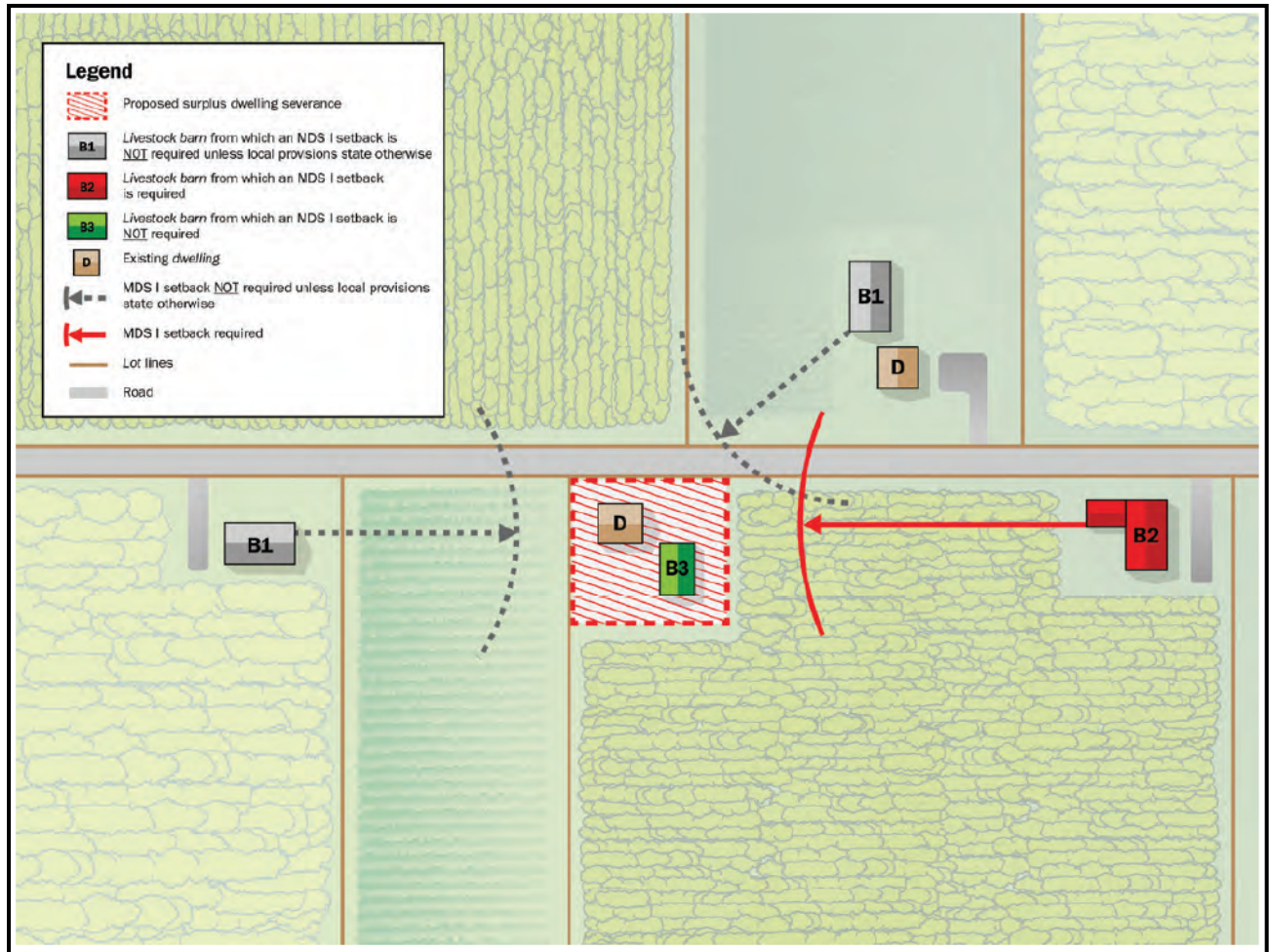
Appendix I Yard and lot line definitions on an irregular lot with no parallel lot lines

Appendix J Yard and lot line definitions on an irregular lot with no rear lot line

Appendix K Yard and lot line definitions on an interior lot abutting a lane

Appendix A.

Minimum Distance Separation Criteria (MDS 1)



Implementation Guideline #9 — MDS 1 setbacks and lot creation for a residence surplus to a farming operation.

An MDS 1 setback is required from the red livestock barn (B2) for the proposed surplus dwelling severance, but not from either of the two grey livestock barns (B1), unless local provisions state otherwise. This is because those two (2) grey livestock barns (B1) are already on separate lots from the subject dwelling proposed to be severed and therefore a potential odour conflict already exists. The creation of the surplus dwelling lot only results in a new potential odour conflict with the red livestock barn (B2) as it is on the same lot as the subject dwelling **PRIOR** to the consent being approved and will be on a separate lot **after** the consent is approved. In accordance with Implementation Guideline #14, there is no MDS 1 setback required from the green livestock barn (B3), as it will remain on the same Lot as the subject dwelling proposed to be severed.

Appendix B. Minimum Distance Separation Criteria (MDS 2)

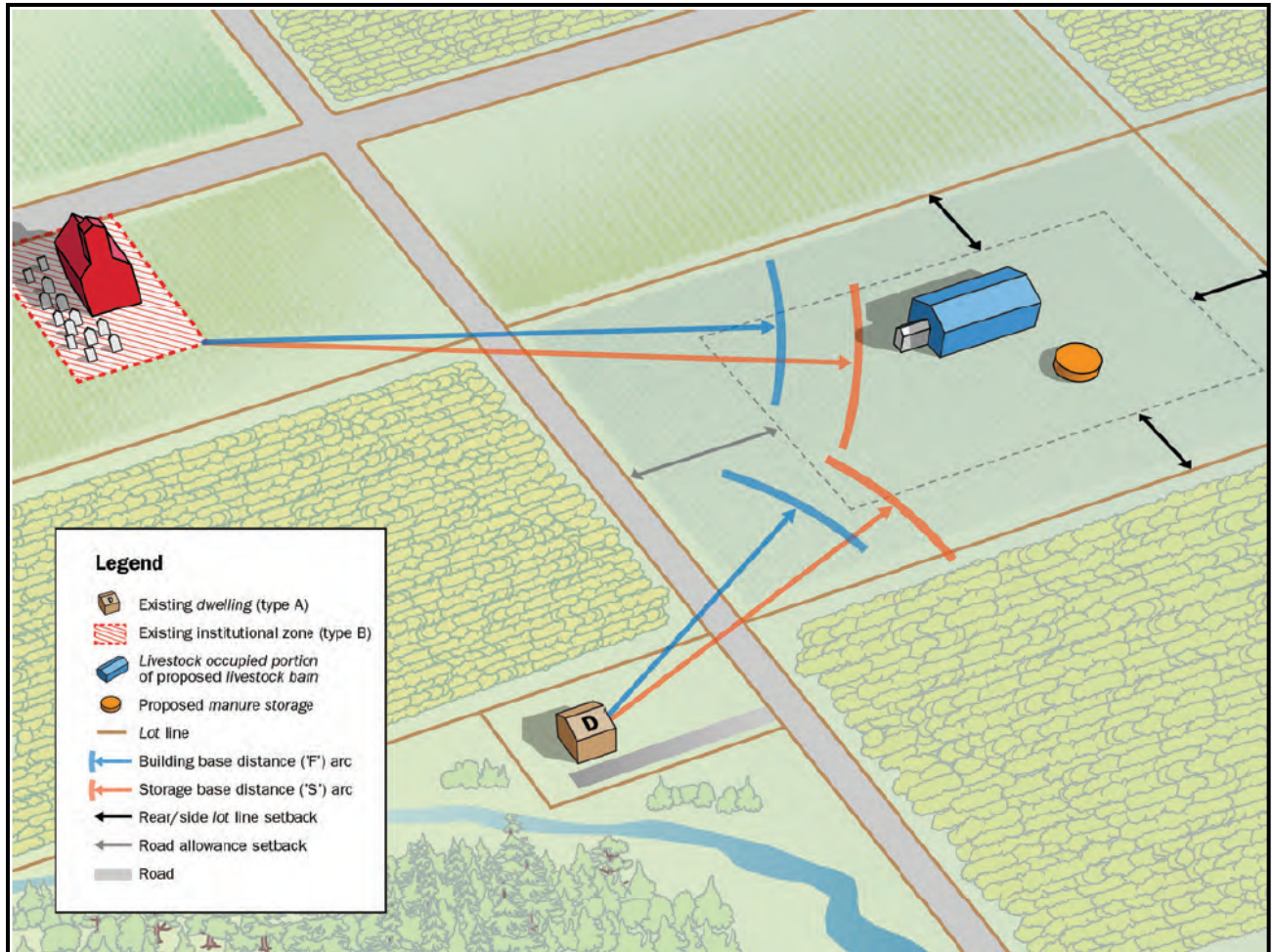
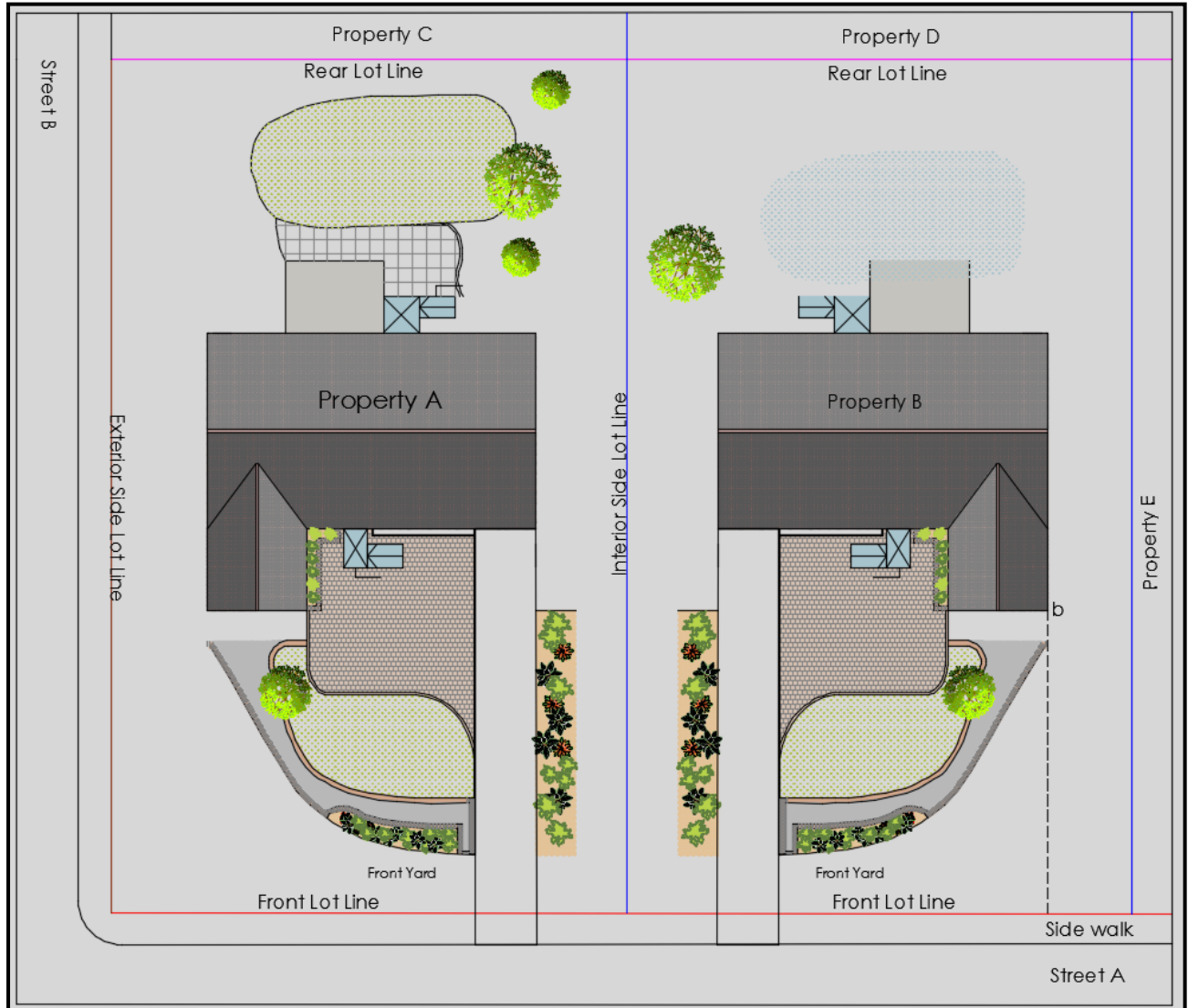


Figure 8. Implementation Guideline #40 — measurement of MDS 2 setbacks for development and dwellings.

This figure shows MDS 2 setbacks for a first livestock facility near an Existing Non-Agricultural Use (i.e., institutional zone) and dwelling.

NOTE: The MDS 2 setbacks are measured from the shortest distance between the points of new construction for the livestock occupied portion of the livestock barn and manure storage, and the Existing non-Agricultural Use and dwelling.

Appendix C. Lot Line Descriptions



Note: This appendix is to be used for illustration purposes only and does not form part of the By-law

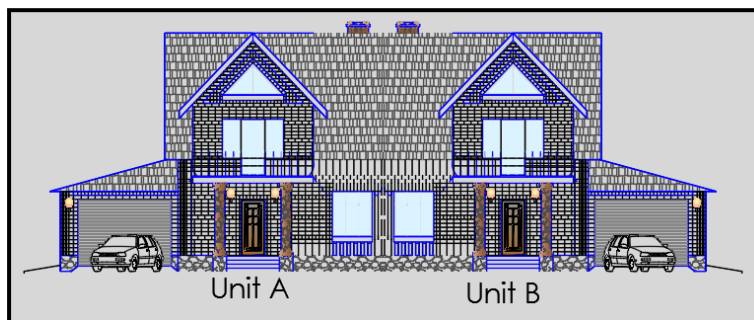
Appendix D.

Illustration of Dwelling Types - Note: This appendix is to be used for illustration purposes only and does not form part of the By-law.

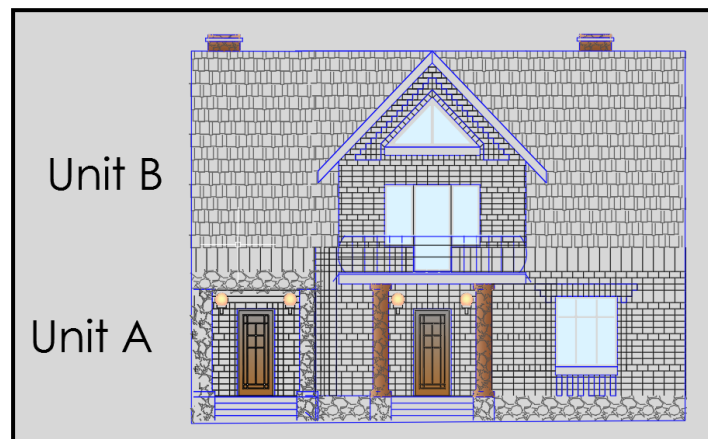
Single Dwelling



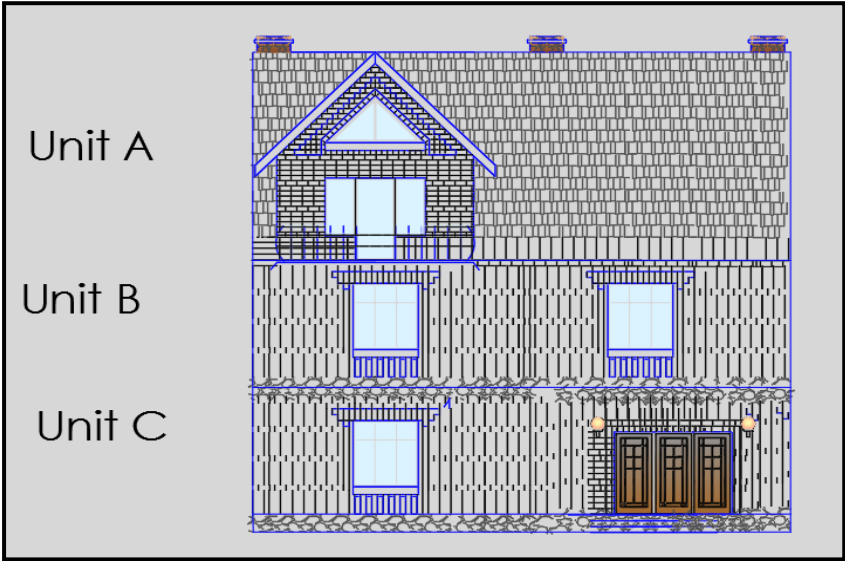
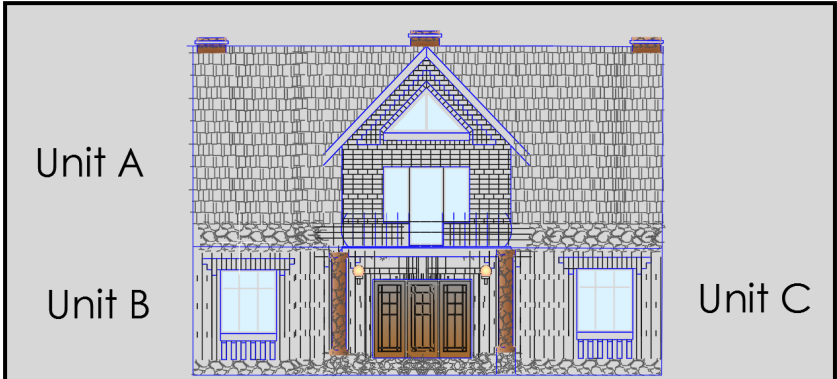
Semi- Detached



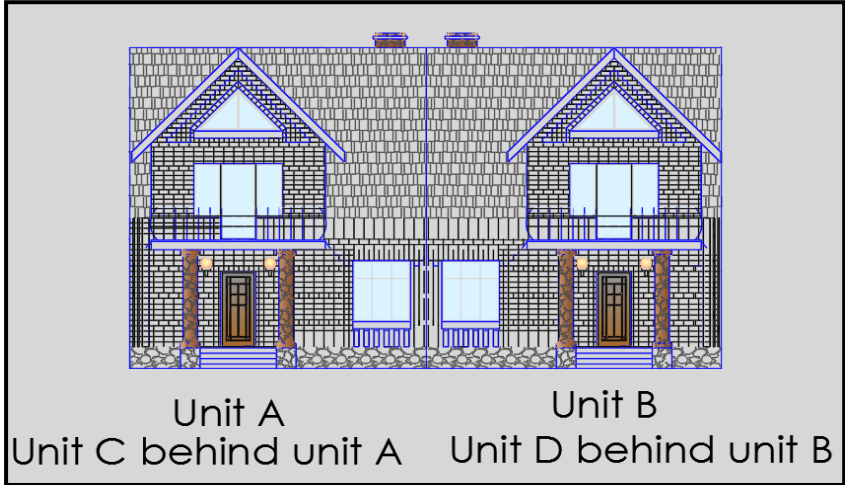
Duplex dwellings



Triplex dwellings



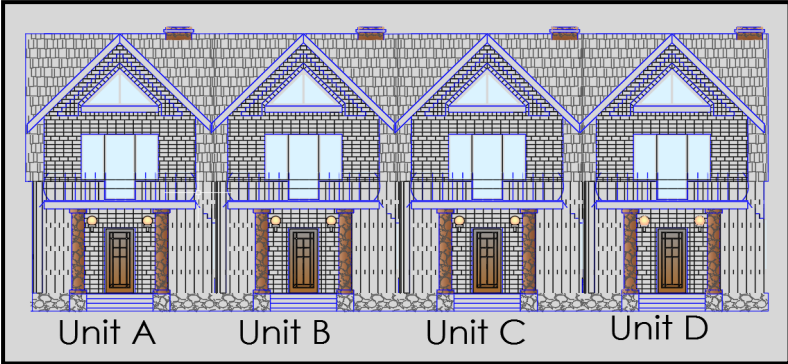
Fourplex dwellings



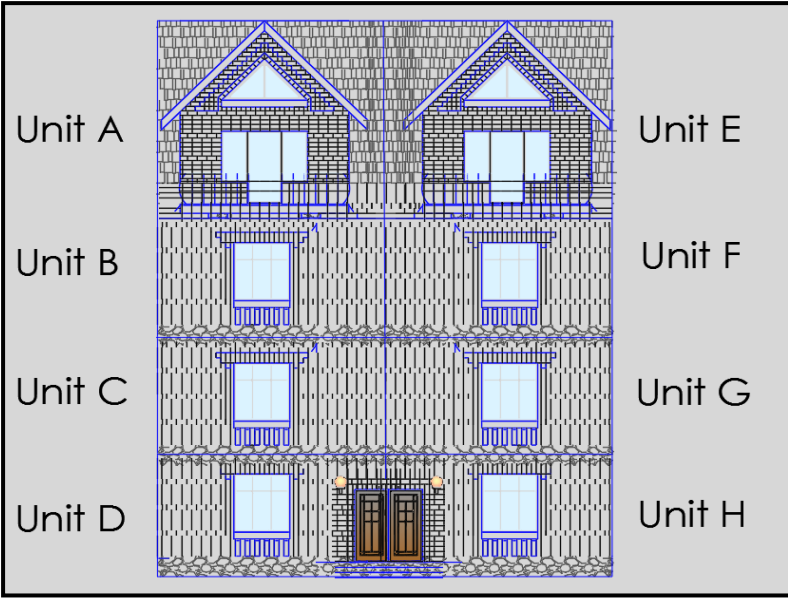
Fourplex dwellings



Rowhouse dwellings



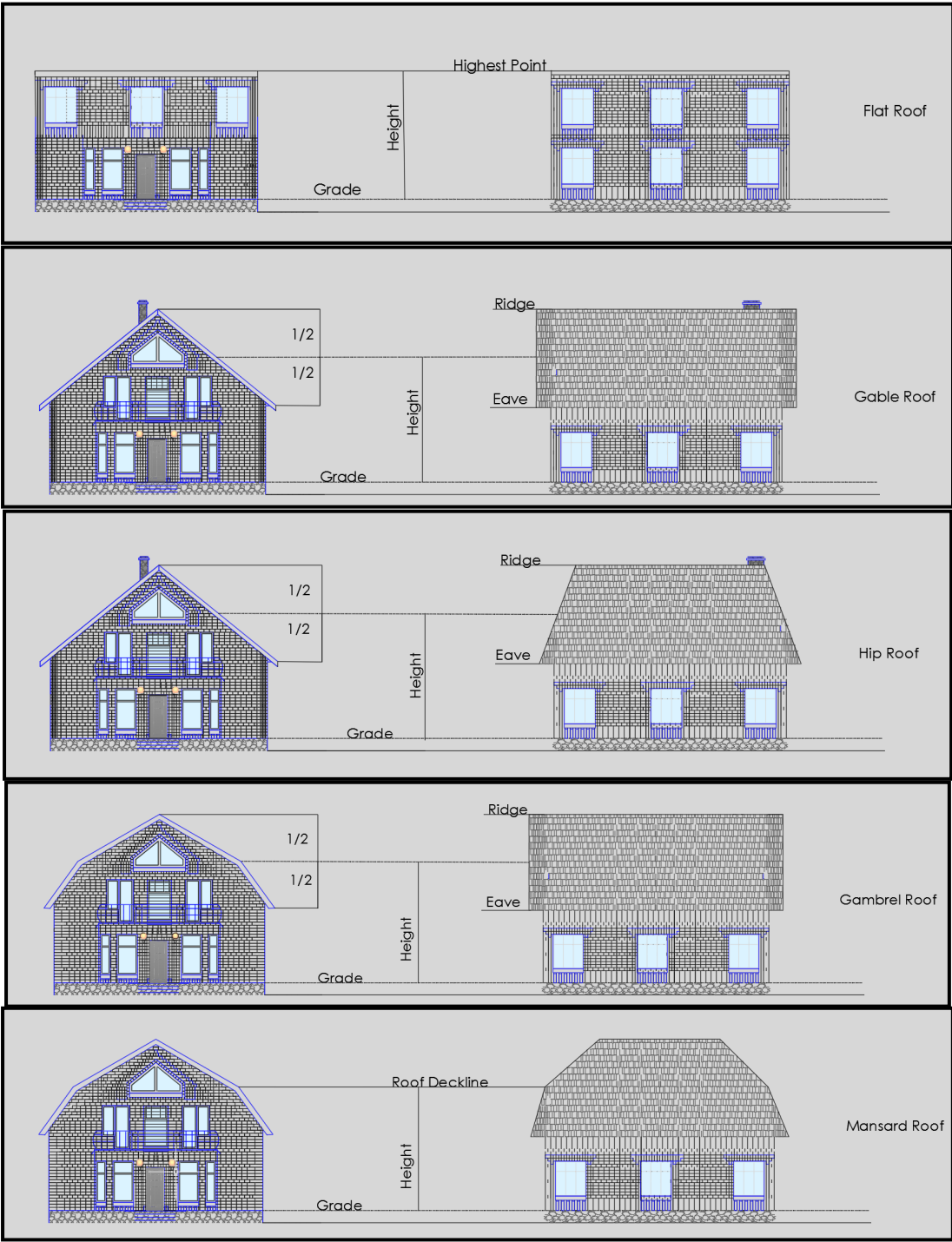
Apartment dwellings



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Appendix E.

How to Calculate the Height of Buildings and Structures



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Appendix F.

How to Determine the Location of a Building Line

This appendix is intended to provide an explanation of how the location of a building Line is determined in cases where this By-law regulates the location of the walls of a building that face the front lot line or the exterior side lot line in relation to a building line.

The location of the front and / or exterior side wall is regulated in some Zones by special provisions contained on tables in Section 4.26 of this By-law that reads as follows:

Front Wall

(special provision applies to required front yard standard)

At least _____ % of the front wall of the main building shall be located within _____ metre(s) of, or on, the building line. In no case shall the front wall be located in the required front yard.

Exterior Side Wall

(special provision applies to required exterior side yard standard)

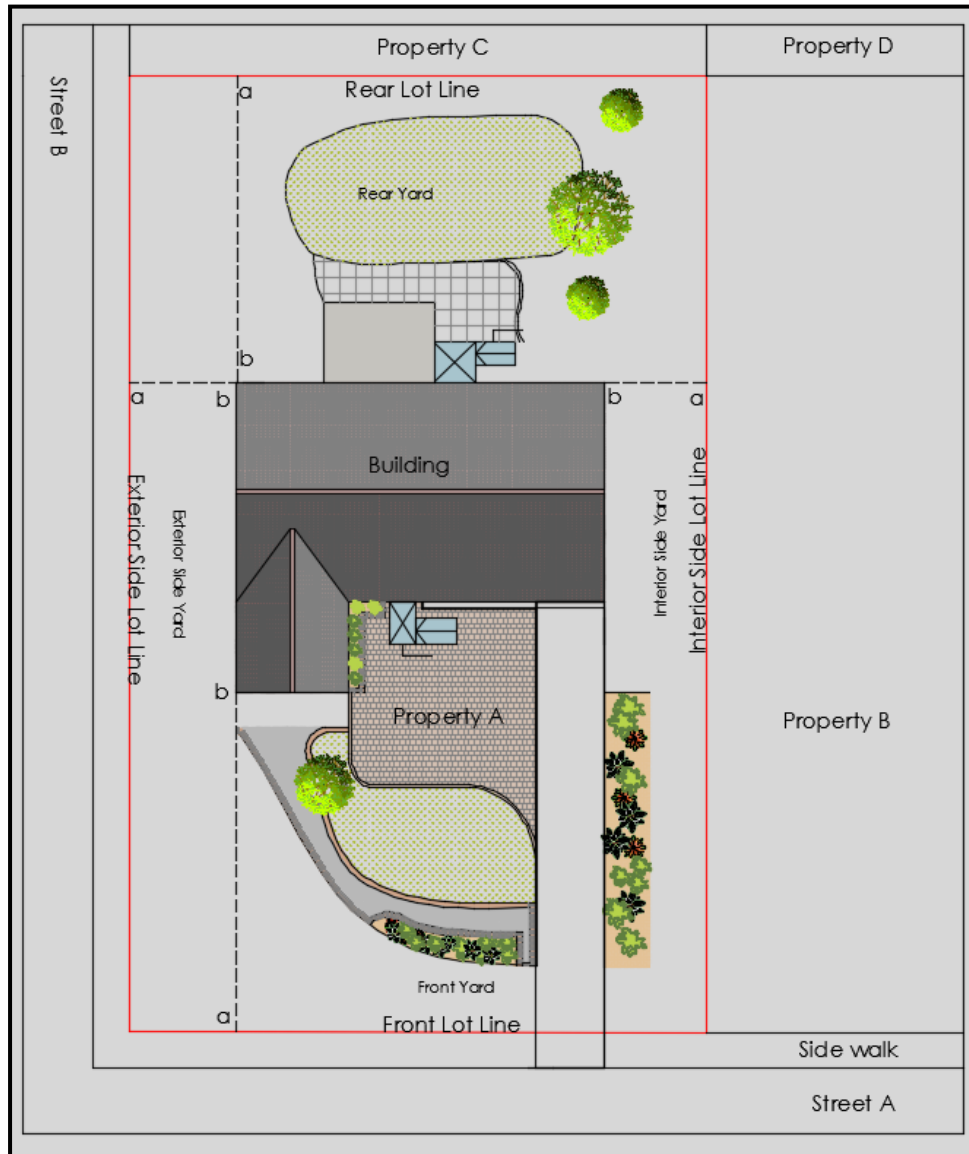
At least _____ % of the exterior side wall of the main building on a lot shall be located within _____ metre(s) of, or on, the building line. In no case shall the exterior side wall be located in the required exterior side yard.

Note: The underlined areas above are Filled with percentages and numbers that are specific to the Zone the special provision may apply to.

Section 4.26 of this By-law describes how the location of a building line is determined.

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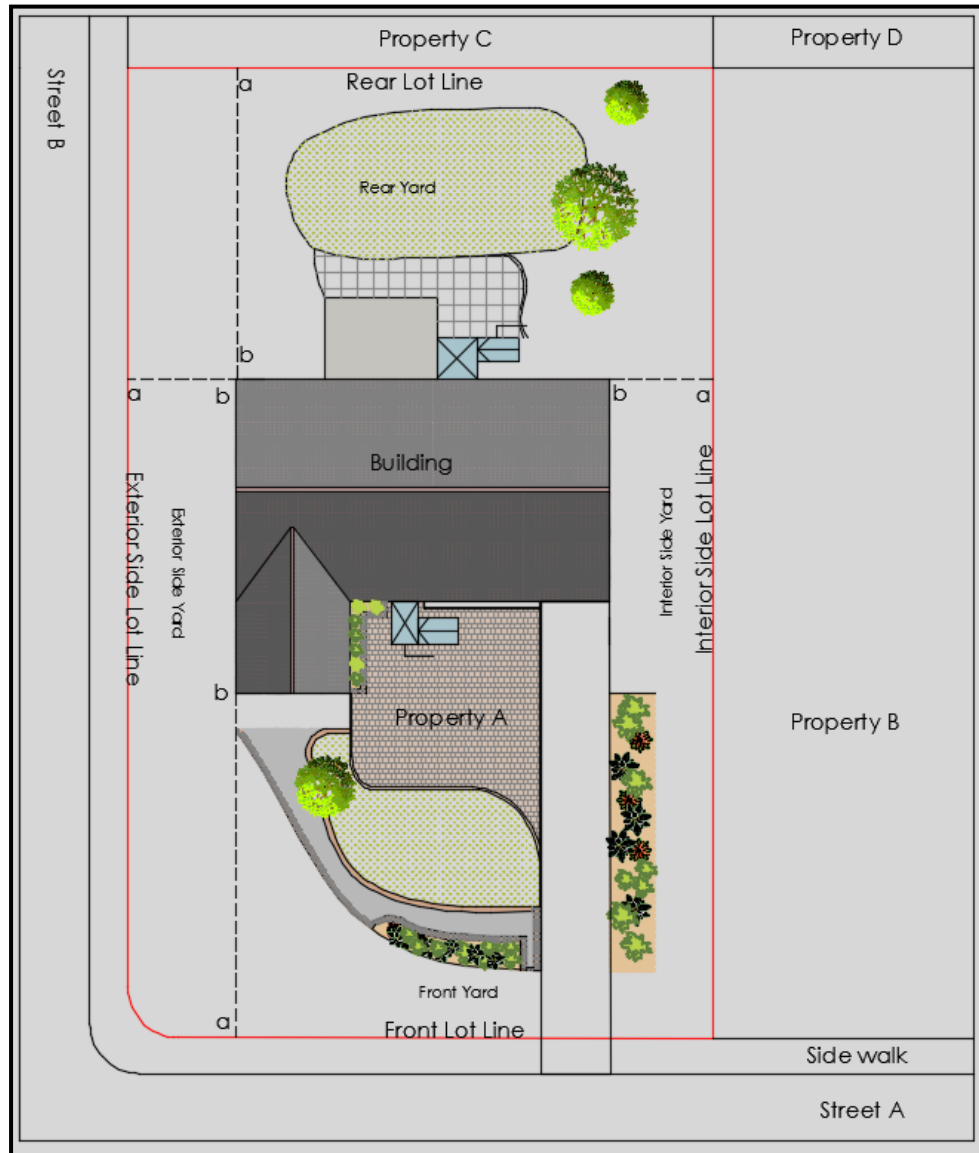
Appendix G. Yard and Lot Line Definitions on a Corner Lot with Parallel Lot Lines



Distance a to b represents the shortest distance measured between the lot line and the nearest part of the main building. Distance a to b must be a minimum of the required Yard specified in the by-law.

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Appendix H. Yard and Lot Line Definitions on a Corner Lot with Curved Lot Lines

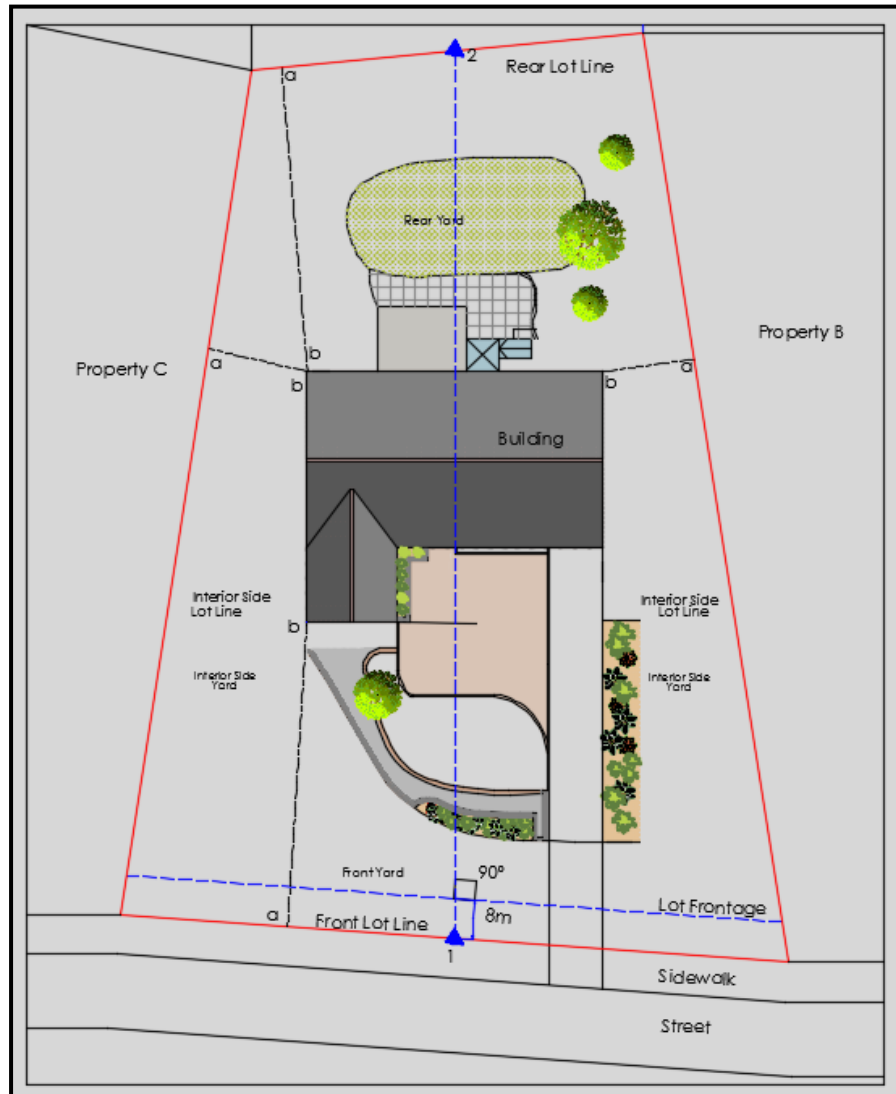


Distance a to b represents the shortest distance measured between the lot line and the nearest part of the main building. Distance a to b must be a minimum of the required yard specified in the By-law.

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Appendix I.

Yard and Lot Line Definitions on an Irregular Lot with No Parallel Lot Lines



1. Mid-point of front lot line
2. Mid-point of rear lot line.

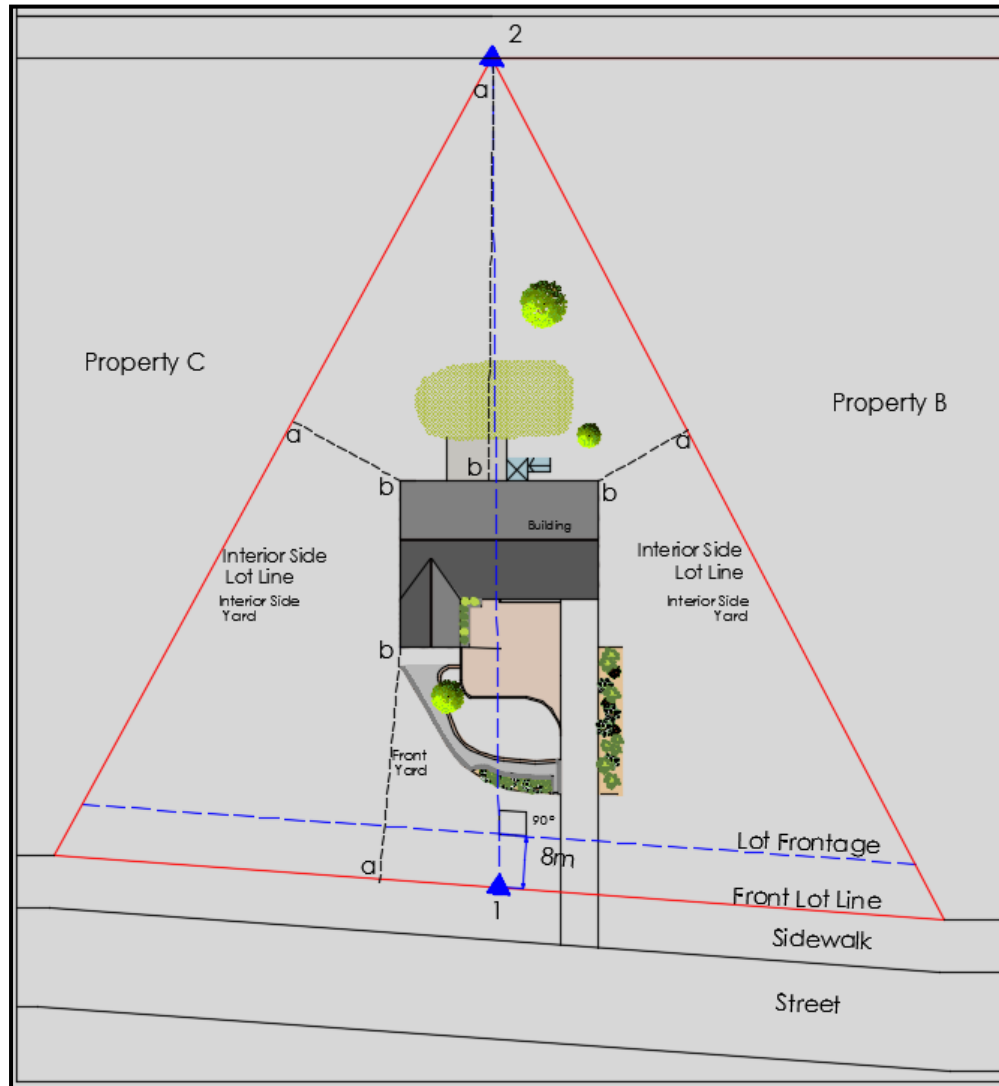
Lot frontage measured at right angles to the line joining points 1 and 2 at a distance of 8 metres from the mid-point of the front lot line.

Distance a to b represents the shortest distance measured between the lot line and the nearest part of the main building. Distance a to b must be a minimum of the required yard specified in the By-law.

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Appendix J.

Yard and Lot Line Definitions on an Irregular Lot with No Rear Lot Line



1. Mid-point of front lot line

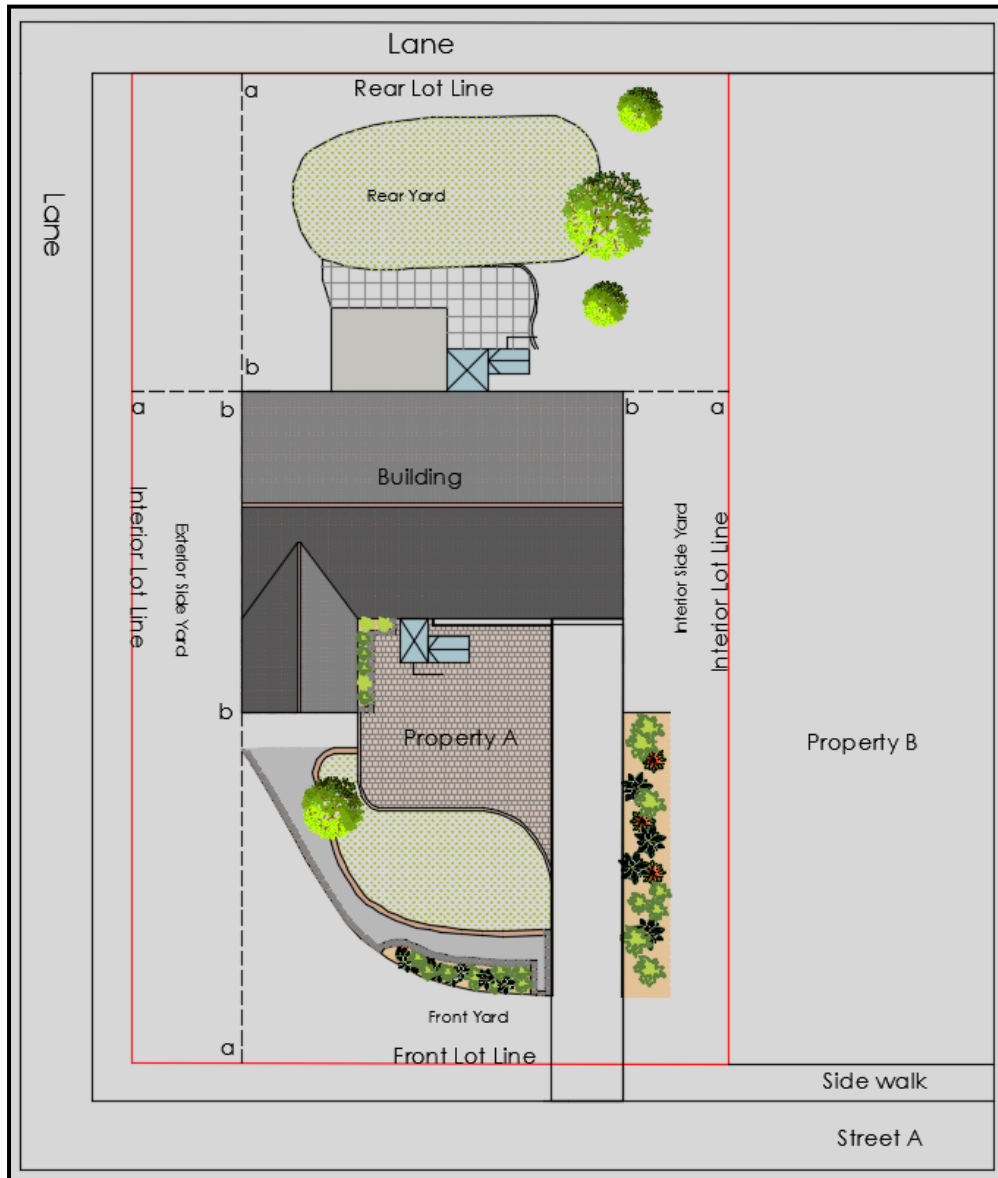
2. Mid-point of rear lot line.

Lot frontage measured at right angles to the line joining points 1 and 2 at a distance of 8 metres from the mid- point of the front lot line.

Distance a to b represents the shortest distance measured between the lot line and the nearest part of the main building. Distance a to b must be a minimum of the required Yard specified in the By-law.

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Appendix K. Yard and Lot Line Definitions on an Interior Lot Abutting a Lane



Distance a to b represents the shortest distance measured between the lot line and the nearest part of the main building. Distance a to b must be a minimum of the required yard specified in the By-law.

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