



67 Sharp Road, Brighton, ON, K0K 1H0
613-475-1162

Notice of Complete Applications and Statutory Public Meeting for Plan of Subdivision, Official Plan Amendment, Zoning By-law Amendment, and Consent (File Nos. SUB2021-02, OPA02-2021, Z13-2021, and B19-2021)

Applicant: 8597685 Canada Inc

Legal Description: Concession 1, Part of Lot 5, Plan 28, being Part 1 on 39R-6003, and Block 67 on Plan 39M-924

Take Notice that the Corporation of the Municipality of Brighton has received Complete Applications for a Plan of Subdivision, Official Plan Amendment, Zoning By-law Amendment and Consent with respect to the above noted properties in accordance with Section 22 (6.1), Section 34 (10.1 & 10.2), Section 51 (17 & 19.1), and Section 53 (2 & 3) of the Planning Act, R.S.O., 1990, as amended. A Key Map and Plan of Subdivision are attached to this notice.

Take Further Notice that the Council of the Municipality of Brighton will hold a Statutory Public Meeting on **May 9th, 2022 at 6:30 p.m.** to consider the Plan of Subdivision, Official Plan Amendment, Zoning By-law Amendment and Consent applications under Sections 22, 34, 51, and 53 of the *Planning Act*, R.S.O., 1990, as amended. The meeting will be held **in-person at the Municipal Building located at 35 Alice Street**. Attendance may also occur virtually.

If you wish to participate virtually at the Council meeting in real time, **please contact the Municipal Clerk, Candice Doiron, via email at cdoiron@brighton.ca no later than 12:00 p.m. (noon)** on the day prior to the scheduled meeting and you will be provided with an invitation to join the meeting using your computer or phone. Any member of the public may “attend” a meeting electronically, and if desired may also provide verbal submissions during the meeting.

Take Further Notice that the subject lands are not currently subject of any other applications under the *Planning Act*.

Purpose and Effect of the Applications

A Location Map and Concept Plan is included with this Notice to illustrate the general location of the lands subject to the applications.

Plan of Subdivision (SUB2021-02)

The purpose of the Plan of Subdivision Application (SUB2021-02) is to develop the subject lands with a residential subdivision, containing a combination of single-detached, semi-detached, townhouse and stacked back-to-back townhouse dwelling, as well as limited mixed-use buildings with commercial at grade and residential dwelling units above. The stacked back-to-back townhouse dwellings will contain between ten (10), sixteen (16) or twenty-two (22) units in a low-rise townhouse-built form. At full build-out, the proposed development will contain a total of thirty-five (35) residential units in Phase 3 and up to five-hundred and twenty-one (521) residential units in Phase 4.

Official Plan Amendment (OPA02-2021)

The purpose of the Official Plan Amendment (OPA02-2021) is to change the designation of a portion of the subject lands from the “Greenfield” and the “Environmental Protection” designation to the “Residential” designation. Technical amendments are also proposed to amend Schedule B Natural Features Map 2 Brighton Urban Area to relocate the permanent watercourse running north-south across the side and to remove the Wooded Area west of Rundle Lane and to amend Schedule C Transportation Map 2 Brighton Urban Area to add the proposed local roads.

Zoning By-law Amendment (Z13-2021)

The purpose of the Zoning By-law Amendment (Z13-2021) is to establish appropriate zones for the proposed uses as well as establish appropriate performance standards. The applicant proposes to rezone the site from the “Agricultural Exception No. 1 (A-1) Zone” to a new site specific “Urban Residential Two Exception No. 44 (R2-44) Zone”, a new site-specific “Urban Residential Four Exception No. 2 (R4-2) Zone”, a new “Environmental Protection (EP) Zone”, and a new “Open Space (OS) Zone”. The Zoning By-law Amendment proposes special provisions in order to accommodate the proposed lot fabric as follows:

Urban Residential Two Exception No. 44 (R2-44) Zone

Single Detached Dwellings

- i) Minimum Lot Frontage
 - a. Interior Lot: 12.0m
 - b. Corner Lot: 12.0m
- ii) Maximum Lot Coverage: 50%
- iii) Minimum Exterior Side Yard Setback: 1.2m

Semi-Detached Dwellings

- iv) Minimum Lot Frontage
 - a. Interior Lot: 9.0m
 - b. Corner Lot: 11.0m
- v) Minimum Lot Area: 250m² per unit
- vi) Maximum Lot Coverage: 60%
- vii) Minimum Exterior Side Yard Setback: 2.4m
- viii) Minimum Setbacks for Driveways:
 - a. Setback from Interior Lot Line: 0m
 - b. Setback from Exterior Lot Line: 5.0m
- ix) Multiple Zones on One Lot (Divided Lot): Notwithstanding the provisions of Section 4.12 hereof to the contrary, where a lot is divided into more than one zone, each portion of the lot must be used in accordance with the provisions of the applicable zone. In the case of a conflict, the more restrictive provision(s) shall apply.

Urban Residential Four Exception No. 2 (R4-2) Zone

- i) Permitted Uses: In addition to the uses permitted within the R4 Zone, the following additional permitted uses are allowed: Stacked Back-to-Back (SB2B) Townhouse Dwelling; Mixed Commercial / Residential Development. The following definitions shall apply:
“Stacked back-to-back townhouse dwelling” shall mean a group of at least three attached separate dwelling units which are stacked vertically and share a sidewall and rear wall, without a rear yard setback, and whereby a shared internal entrance may be provided.

“Mixed Commercial / Residential Development” means a building or structure which is used for a mixture of commercial and residential uses, where the entire ground floor of such building or structure may be used for commercial purposes.

- ii) Minimum Off-Street Parking – Commercial Uses: 1 parking space per 150m² of gross floor area
- iii) Minimum Accessible Parking Space Size: 2.7m x 5.5m
- iv) Multiple Zones on One Lot (Divided Lot): Notwithstanding the provisions of Section 4.12 hereof to the contrary, where a lot is divided into more than one zone, each portion of the lot must be used in accordance with the provisions of the applicable zone. In the case of a conflict, the more restrictive provision(s) shall apply.

Stacked Back-to-Back Townhouse Building

- v) Minimum Lot Frontage: Not Applicable
- vi) Minimum Lot Area per Dwelling Unit: Not Applicable
- vii) Minimum Front Yard: 3.0m
- viii) Minimum Exterior Side Yard Setback: 6.0m
- ix) Minimum Interior Side Yard Setback: 6.0m
- x) Minimum Rear Yard: 10.0m
- xi) Maximum Building Height
 - a. Main Building: 11.0m
 - b. Accessory Building: 4.5m
- xii) Dwelling Per Lot: Up to 22 stacked back-to-back townhouse units are permitted on a block
- xiii) Minimum Off-Street Parking: 1 parking space per unit
- xiv) Minimum Parking Space Size: 2.7m x 5.5m
- xv) Minimum Setback for Driveways:
 - a. Setback from Interior Lot Line: 0m
 - b. Setback from Exterior Lot Line: 5.0m

Rowhouses

- xvi) Maximum Lot Coverage: 50%
- xvii) Minimum Exterior Side Yard Setback: 2.4m
- xviii) Minimum Interior Side Yard Setback
 - a. Interior Unit: 0.0m
 - b. End Unit: 1.2m

Mixed Use Building

- xix) Maximum Building Height: 20.0m

Consent Application (B19-2021)

The purpose of Consent Application (B19-2021) is to add approximately 1.3 hectares (3.21 acres) of land currently within the CN's railway right-of-way to the subject property. This area is not utilized or required by CN and was historically farmed by the previous owners of the subject lands.

Any person may attend the public meeting and/or make written or verbal representation either in support of or in opposition to the proposed Plan of Subdivision, Official Plan Amendment, Zoning By-law Amendment, and Consent application. If you are unable to attend the meeting, written representations may be submitted up to the time of the Public Meeting and should include a request for further notice, if so desired. Written submissions should be made to

Candice Doiron, Municipal Clerk, Municipality of Brighton, P.O. Box 189, 35 Alice Street, Brighton, Ontario K0K 1H0 or via email at cdoiron@brighton.ca

If a person or public body that files an appeal of a decision of the Municipality of Brighton in respect of the proposed Plan of Subdivision, Official Plan Amendment, Zoning By-law Amendment, and Consent application does not make written submissions to the Council of the Corporation of the Municipality of Brighton before the Official Plan Amendment or by-law is passed, the Ontario Land Tribunal may dismiss the appeal.

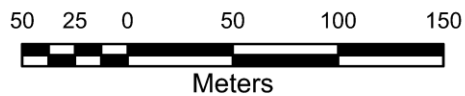
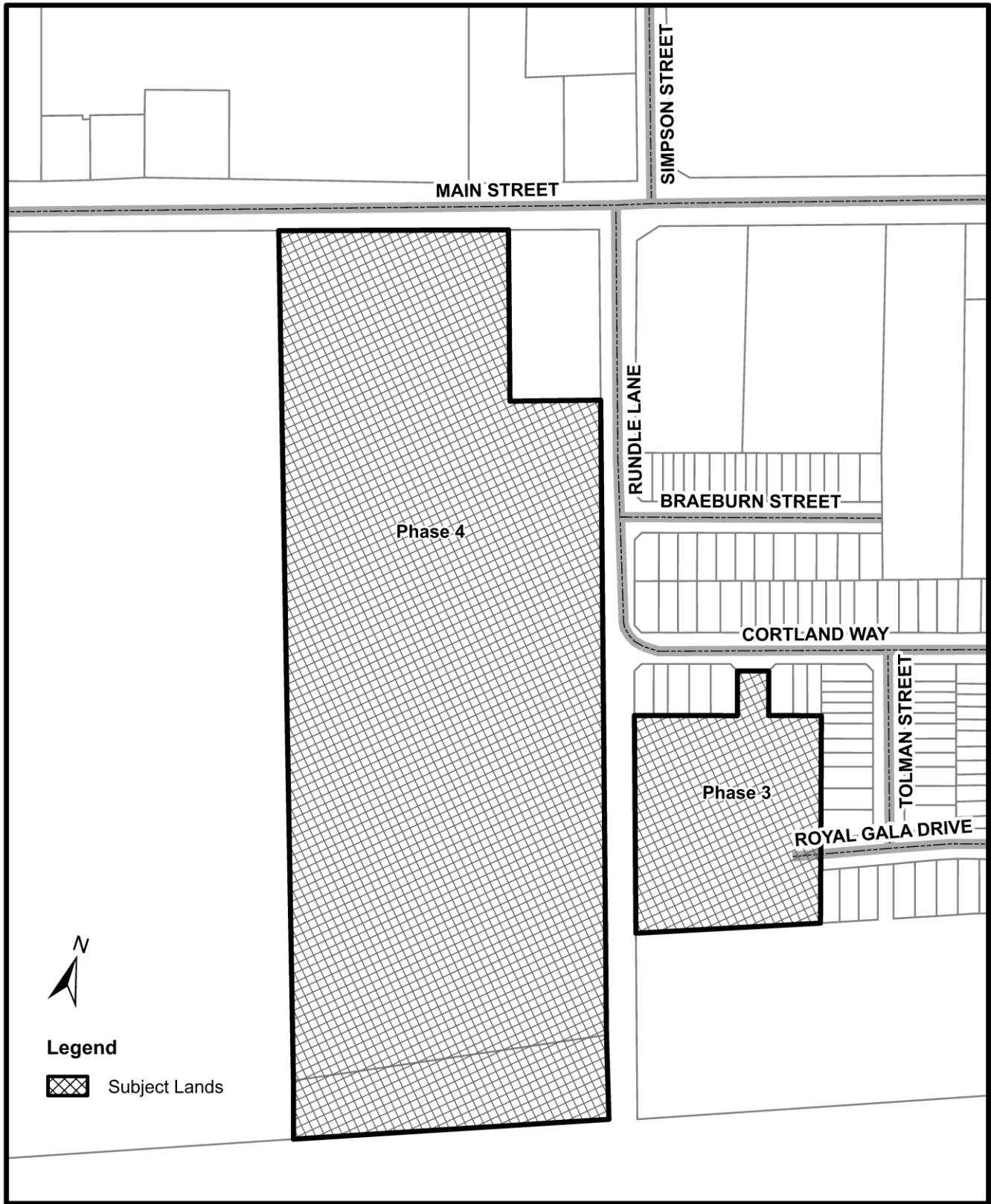
If you wish to be notified of the decision of the Council of the Municipality of Brighton in respect on the proposed Plan of Subdivision, Official Plan Amendment, Zoning By-law Amendment, and Consent application, you must make a written request with the Municipal Clerk of the Municipality of Brighton at Candice Doiron, Municipal Clerk, Municipality of Brighton, P.O. Box 189, 35 Alice Street, Brighton, Ontario K0K 1H0 or via email at cdoiron@brighton.ca

Anyone wishing to obtain additional information with respect to this application is requested to direct enquiries to the Planning Department by e-mail at planning@brighton.ca or via telephone at 613-475-1162.

Dated at the Municipality of Brighton on April 14, 2022

Samantha Deck, Planner I
Municipality of Brighton, 67 Sharp Road
Brighton, Ontario K0K 1H0
Email: sdeck@brighton.ca, Telephone No: 613-475-1162 ext. 114

Attachment 1 - Key Map



April 2022

Attachment 2 – Concept Plan

PROJECT:
APPLEWOOD MEADOWS
DEVELOPMENT CONCEPTS PHASE 3-4

DRAWING:
DEVELOPMENT CONCEPT

CLIENT:
CARUSHA HOLDINGS INC

DATE:
2022.04.08

Development Concept

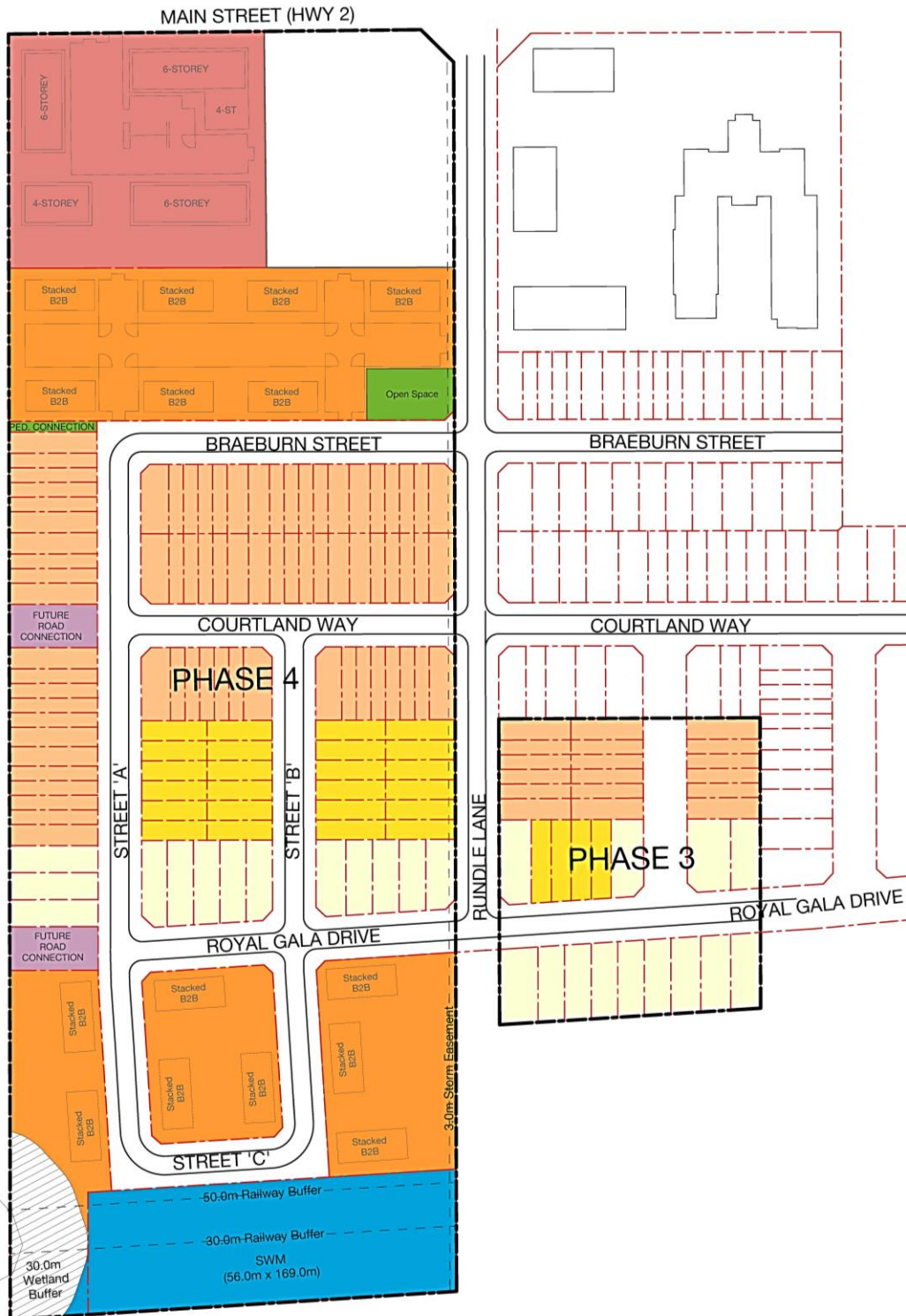
Development Yields (by Phase)

Phase 3 Units (Residential)
Single-Detached: 13 units
Semi-Detached: 4 units
Townhouses: 18 units
Total Phase 3 Residential Units: 35 units

Phase 4 Units (Residential)
Single-Detached: 13 units
Semi-Detached: 24 units
Townhouses: 71 units
Stacked B2B Towns (10's): 70 units
Stacked B2B Towns (16's): 128 units
Mixed-Use Residential: 215 units
Total Phase 4 Residential Units: 521 units

Assumptions

- / Residential (Single-Detached) lots based on 40.0ft lots (12.2m)
- / Residential (Semi-Detached) lots based on 30.0ft lots (9.1m)
- / Residential (Townhouse) lots based on 22.0ft lots (internal)(6.7m)
- / Residential (Stacked Back-to-Back Towns) range from 10- to 18-units per townhouse block/module
- / Minimum 30% landscaped open space required for Residential (Stacked Back-to-Back Towns)
- / Parking configuration for Residential (Stacked Back-to-Back Towns), to be confirmed
- / Mixed-Use Residential Units based on 85% efficiency and 85sm/unit
- / Sitting and orientation of stacked back-to-back townhouse blocks, subject to change
- / Lot sizes may vary slightly from above
- / 20.0m Public Right-of-Way
- / 3.0m Storm Easement Along Rundle Ln
- / 30.0m Wetland Buffer
- / 30.0m-50.0m Railway Buffer
- / Subject to Policy Amendments and Municipal Approvals
- / All areas and dimensions are approximations and must be confirmed by a proper survey



- Low-Density Residential (Single-Detached)
- Low-Density Residential (Semi-Detached)
- Medium-Density Residential (Townhouses)
- Medium-Density Residential (Stacked Back-to-Back Townhouses)
- Medium-Density / Mixed-Use
- Open Space
- Natural Area
- Stormwater Management
- Wetland Buffer (30.0m)
- Sidewalk
- Multi-Use Trail
- Future Servicing Connection
- Wetland Buffer (30.0m)
- Sidewalk
- Multi-Use Trail
- Future Servicing Connection